











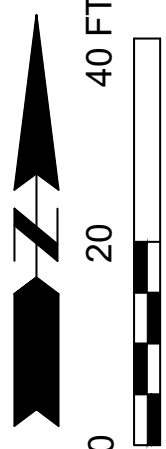


NOTE:
LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. CONTRACTOR WILL BE RESPONSIBLE TO HAVE ALL THE UTILITIES AND SERVICES LOCATED PRIOR TO ANY EXCAVATION.

REMOVAL LEGEND

	REMOVAL OF ASPHALT CONCRETE PAVEMENT
	REMOVAL OF CONCRETE SIDEWALK
	REMOVAL OF CONCRETE PAVEMENT
	REMOVAL OF LANDSCAPE MATERIALS & PLANTS
	REMOVAL OF BUILDING
	REMOVAL OF CURB AND GUTTER
	 CLEAR AND GRUB TREE -- REMOVE STUMP (BY OTHERS)
	 SALVAGE & RESET: TRAFFIC SIGN -- MAILBOX
	 SALVAGE & RESET: POWER POLE -- LIGHT POLE

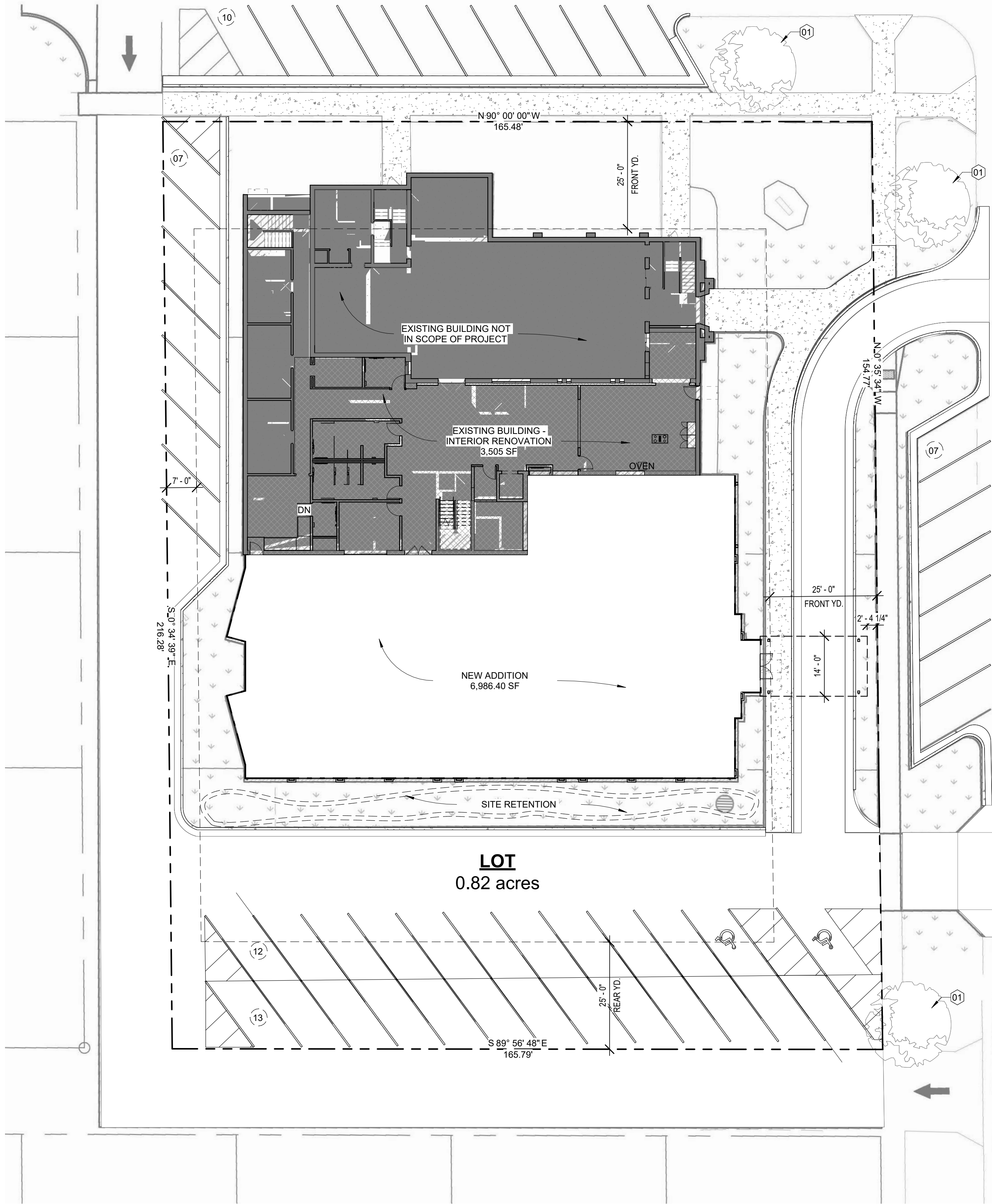
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JOB No.:	23064-09
DATE:	AUGUST 2025
ENG / ARCH:	JDB
DESIGNER:	JDB
TECHNICIAN:	CKM

DATE PRINTED: 10/1/2025 10:12:42 AM

1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"



KEYNOTE - SITE PLAN

01 EXISTING MATURE TREES TO REMAIN.

GENERAL NOTES - ARCH. SITE PLAN

- A. IMPORTANT: ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE AND DESIGN INTENT ONLY, AND NOT TO BE USED FOR CONSTRUCTION. REFER TO CIVIL FOR ALL DIMENSIONING, SLOPING & GRADING, SPOT ELEVATIONS & ADDITIONAL REQUIREMENTS.
- B. CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO SITE PREP. REPORT ANY DISCREPANCIES TO ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.
- C. CONTRACTOR TO VERIFY ANY CRITICAL DIMENSIONS WITH REGARDS TO EXISTING CONSTRUCTION, IF ANY.

DUE DILIGENCE REPORT - ZONING:

LOCAL ORDINANCE CHECK:

REVIEW APPLICABLE ZONING REQUIREMENTS; BROOKINGS, SD (CHAPTER - 94)

CURRENT ZONING
SEC. 94-126: RESIDENCE R-2 TWO FAMILY DISTRICTS. (PERMITTED SPECIAL USE)
• CHURCH

SEC. 94-126: BULK REGULATIONS:
• FRONT YARD: 25 FT
• SIDE YARD: 7 FT
• REAR YARD: 25 FT
• MAX. HEIGHT: 35 FT
• MIN. LOT AREA: 7,500 SF

SEC. 94-399: LANDSCAPE STANDARDS:
MINIMUM NUMBER OF TREES
• ONE TREE FOR THE FIRST 4,000 SF, THEN ONE TREE FOR EACH ADDITIONAL 3,000 SQUARE FEET OF SURFACED AREA.
INTERIOR PARKING LOT LANDSCAPING
• NOT REQ. IF LESS THAN 20,000SF OF PARKING AREA.
MINIMUM LANDSCAPE AREA
• EQUIVALENT TO THE SETBACK REQUIREMENTS
FOUNDATION PLANTINGS
• A MINIMUM PLANTING STRIP OF 3' SHALL BE INSTALLED ALONG ALL BUILDING FOUNDATIONS.

SEC. 94-399.1: BUFFERYARDS:
• NOT REQ.

SEC. 94-433: OFF-STREET PARKING REQUIREMENTS:
CHURCH: ONE SPACE FOR EACH FIVE SEATS IN THE MAIN SEATING AREA.

PARKING SUMMARY

PARKING:
PARKING STALLS REQ'D: 45
OFF-STREET STALLS PROVIDED: 25
BOULEVARD STALLS PROVIDED: 24
NET TOTAL STALLS PROVIDED: 49
ACCESSIBLE STALLS (9'-0"x19'-0"): 2

LOADING:
LOADING SPACES REQ'D: 0
LOADING SPACES PROVIDED: 0



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PRELIMINARY PLANS

NOT FOR CONSTRUCTION

DATE:

REVISIONS:
NO. DESCRIPTION:

ARCHITECTURAL SITE PLAN

PROJECT NO.
DA25-031

MT CALVARY CHURCH ADDN

629 9th Ave, Brookings, SD

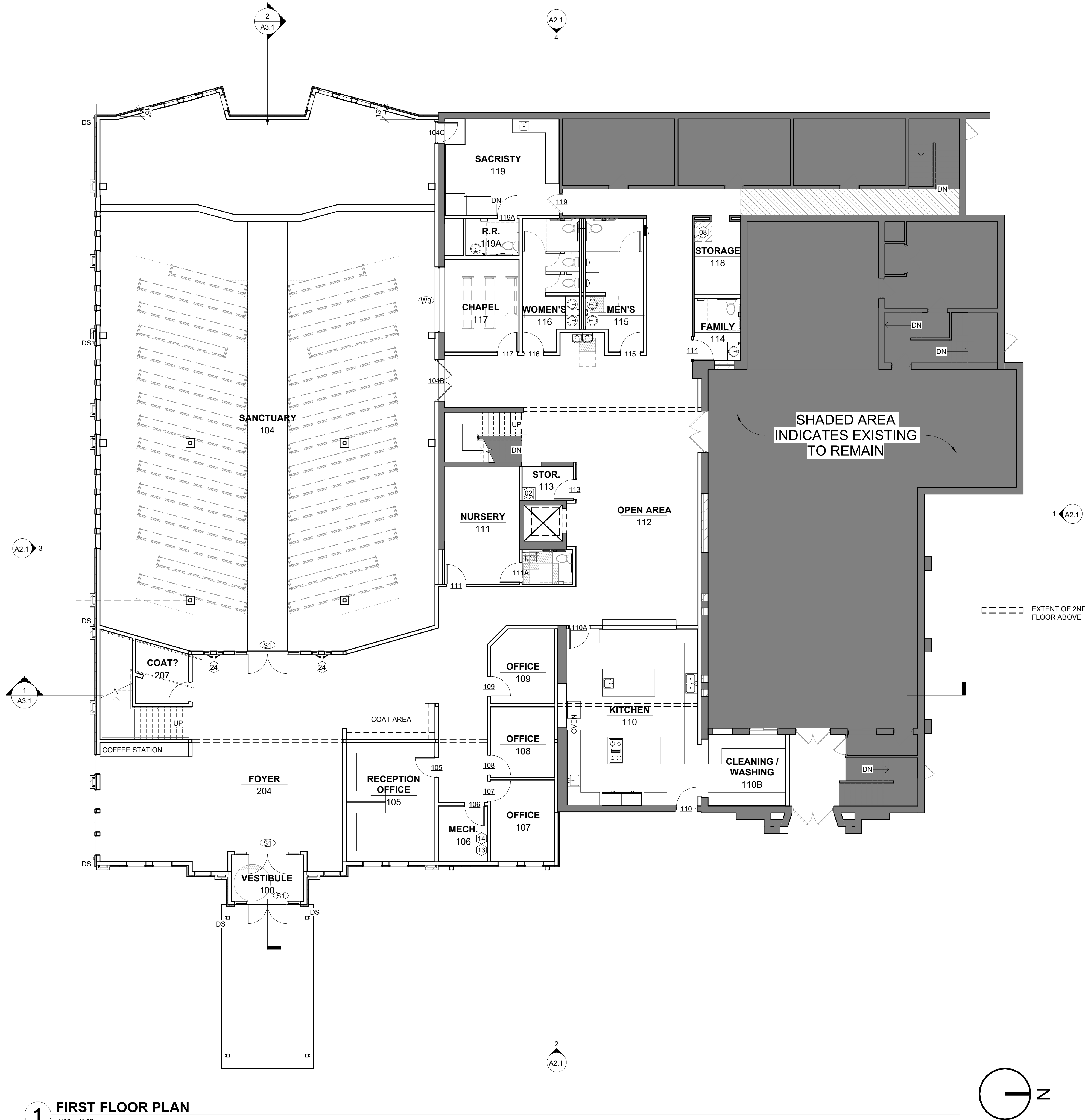
PROJECT MANAGER:
HERMELA ABOYE

DATE:
08.19.25

SHEET:

AC1.1

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



1 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

- A. ALL DIMENSIONS FROM FACE OF STUD UNLESS CLEARLY NOTED OTHERWISE.
- B. ALL INTERIOR WALL TYPES TO BE WALL TYPE 'A1' UNLESS OTHERWISE NOTED. WALL TYPES LISTED ON SHEET T1.3.
- C. FLOOR FINISH TRANSITIONS TO BE 1/4" MAX. BETWEEN FINISH HEIGHTS.
- D. VERIFY ALL APPLIANCE DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
- E. PROVIDE WATER-RESISTANT GYP. BD. AT ALL BATHROOM WALL SURFACES UNLESS CLEARLY NOTED OTHERWISE. MAINTAIN FIRE-RESISTANCE RATING, WHERE REQ'D.
- F. CAULK PERIMETER OF ALL BACKSPASHES. CAULK JOINT TO BE CLEAR OR MATCH COLOR OF ADJ. WALL FINISH.
- G. SEE SHEET A6.1 FOR DOOR/WINDOW/FRAME ELEVATIONS, DOOR SCHEDULE AND WINDOW SCHEDULE.
- H. SEE ROOM FINISH SCHEDULE ON SHEET A7.1 FOR ALL INTERIOR FINISHES TO BE PROVIDED.
- I. MOVABLE FURNITURE SHOWN AS REFERENCE ONLY (NOT IN CONTRACT).
- J. PROVIDE CORNER GUARDS AT ALL INTERIOR OUTSIDE-CORNER APPLICATIONS EQUAL TO OR GREATER THAN 90 DEGREES.

KEYNOTE - FLOOR PLANS

- 01 FLOOR DRAIN. REF. TO MECH.
- 02 24" x 24" MOP SINK (SEE MECH).
- 03 24" x 36" MIRROR. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 04 ACCESSIBLE GRAB BARS. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 05 PAPER TOWEL. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 08 ROOF HATCH AND LADDER LOCATION.
- 09 SANITARY NAPKIN DISPOSAL LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 10 TOILET PAPER DISPENSER LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQ'D.
- 11 WALL-MOUNTED SOAP DISPENSER LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 12 WATER HEATER LOCATION (SEE MECH).
- 13 FACP (SEE ELEC).
- 14 ELECTRICAL PANEL LOCATION (SEE ELEC).
- 16 DRINKING FOUNTAIN WITH BOTTLE FILLER (SEE MECH).
- 24 RELOCATED WINDOWS. GC VERIFY R.O. SIZES BEFORE FRAMING AND INSTALL.

FLOOR PLAN LEGEND:

- INDICATES ACCESSIBLE ROOM
- INDICATES HEARING IMPAIRED ROOM, SEE ELECTRICAL.
- WALL TYPE, SEE SHEET T1.3.
- WINDOW / STOREFRONT TYPE, SEE SHEET A7.1.
- DOOR #, SEE SHEET A7.1.
- DOOR APPROACH FOR ADA CLEARANCES
- SHEAR WALL, SEE STRUCT.
- FD FLOOR DRAIN, SEE MECH.
- FS FLOOR SINK, SEE MECH.
- DS DOWNSPOUT

NOTE: NOT ALL DESIGNATIONS WILL APPEAR.

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



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PRELIMINARY PLANS

NOT FOR CONSTRUCTION

DATE:

REVISIONS: NO. DESCRIPTION:

SHEET NAME: FIRST FLOOR PLAN

PROJECT NO. DA25-031

MT CALVARY CHURCH ADDN

629 9th Ave, Brookings, SD

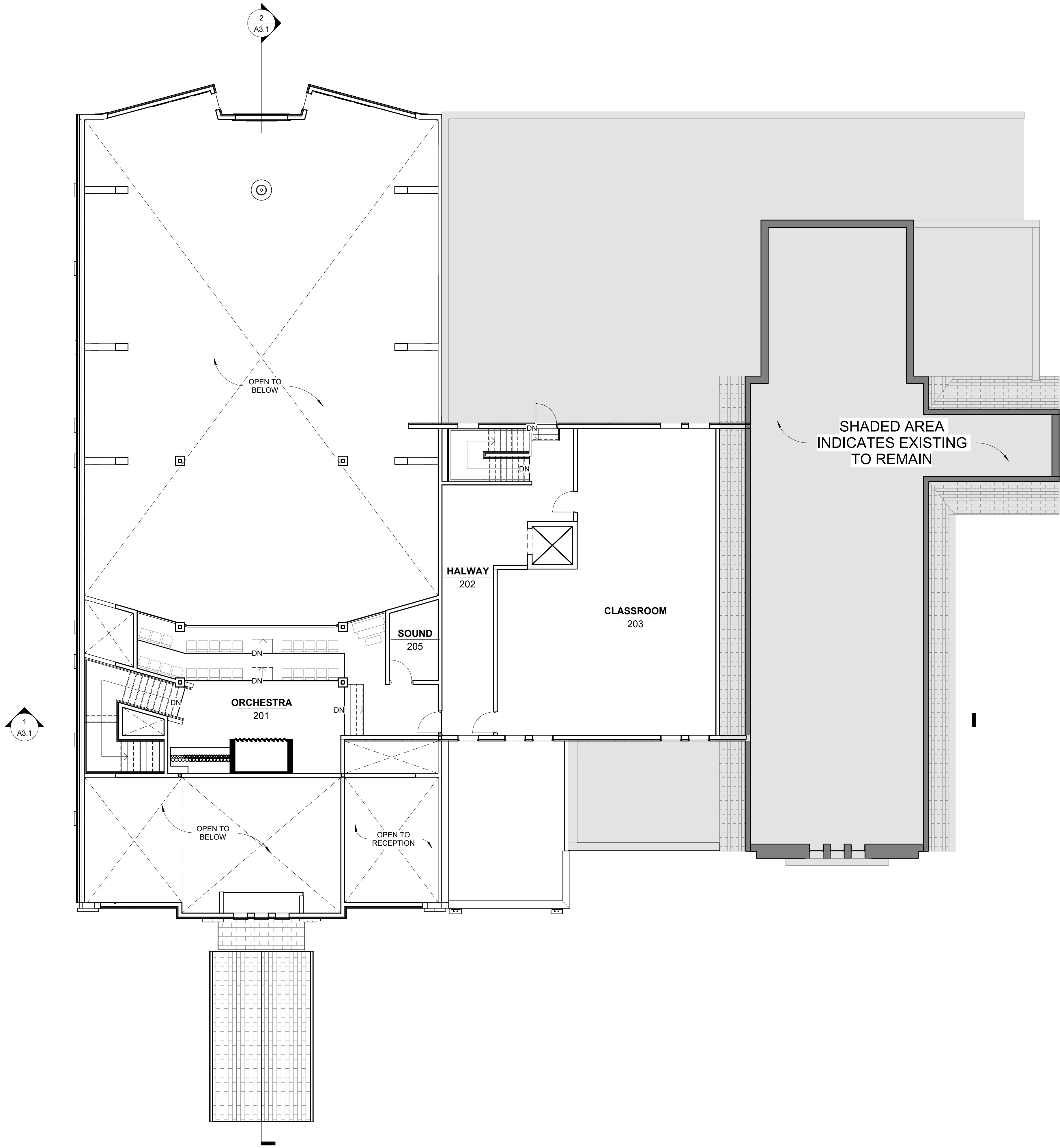
PROJECT MANAGER: HERMELA ABOYE

DATE: 08.19.25

SHEET:

A1.2

FULL SCALE: 24x36
HALF SCALE: 12x18
DRAWING MAY NOT BE PRINTED TO SCALE



1 SECOND FLOOR PLAN
1/8" = 1'-0"











GENERAL NOTES - FLOOR PLANS

- A. ALL DIMENSIONS FROM FACE OF STUD UNLESS CLEARLY NOTED OTHERWISE.
- B. ALL INTERIOR WALL TYPES TO BE WALL TYPE 'A1' UNLESS OTHERWISE NOTED. WALL TYPES LISTED ON SHEET T1.3.
- C. FLOOR FINISH TRANSITIONS TO BE 1/4" MAX. BETWEEN FINISH HEIGHTS.
- D. VERIFY ALL APPLIANCE DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
- E. PROVIDE WATER-RESISTANT GYP. BD. AT ALL BATHROOM WALL SURFACES UNLESS CLEARLY NOTED OTHERWISE. MAINTAIN FIRE-RESISTANCE RATING, WHERE REQ'D.
- F. CAULK PERIMETER OF ALL BACKSPLASHES. CAULK JOINT TO BE CLEAR OR MATCH COLOR OF ADJ. WALL FINISH.
- G. SEE SHEET A6.1 FOR DOOR/WINDOW/FRAME ELEVATIONS, DOOR SCHEDULE AND WINDOW SCHEDULE.
- H. SEE ROOM FINISH SCHEDULE ON SHEET A7.1 FOR ALL INTERIOR FINISHES TO BE PROVIDED.
- I. MOVABLE FURNITURE SHOWN AS REFERENCE ONLY (NOT IN CONTRACT).
- J. PROVIDE CORNER GUARDS AT ALL INTERIOR OUTSIDE-CORNER APPLICATIONS EQUAL TO OR GREATER THAN 90 DEGREES.

KEYNOTE - FLOOR PLANS

- 01 FLOOR DRAIN. REF. TO MECH.
- 02 24" x 24" MOP SINK (SEE MECH).
- 03 24" x 36" MIRROR, SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 04 ACCESSIBLE GRAB BARS, SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 05 PAPER TOWEL , SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 08 ROOF HATCH AND LADDER LOCATION.
- 09 SANITARY NAPKIN DISPOSAL LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 10 TOILET PAPER DISPENSER LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQ'D.
- 11 WALL-MOUNTED SOAP DISPENSER LOCATION. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- 12 WATER HEATER LOCATION (SEE MECH).
- 13 FACP (SEE ELEC).
- 14 ELECTRICAL PANEL LOCATION (SEE ELEC).
- 16 DRINKING FOUNTAIN WITH BOTTLE FILLER (SEE MECH).
- 24 RELOCATED WINDOWS. GC VERIFY R.O. SIZES BEFORE FRAMING AND INSTALL.

FLOOR PLAN LEGEND:

-  INDICATES ACCESSIBLE ROOM
-  INDICATES HEARING IMPAIRED ROOM, SEE ELECTRICAL.
-  WALL TYPE, SEE SHEET T1.3.
-  WINDOW / STOREFRONT TYPE, SEE SHEET A7.1.
-  DOOR #, SEE SHEET A7.1.
-  DOOR APPROACH FOR ADA CLEARANCES
-  SHEAR WALL, SEE STRUCT.
-  FD FLOOR DRAIN, SEE MECH.
-  FS FLOOR SINK, SEE MECH.
-  DS DOWNSPOUT

NOTE: NOT ALL DESIGNATIONS WILL APPEAR.

**PRELIMINARY PLANS - NOT
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**PRELIMINARY
PLANS**

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CONSTRUCTION

DATE:

REVISIONS:
NO. DESCRIPTION:

SHEET NAME:
SECOND FLOOR PLAN

PROJECT NO.
DA25-031

**MT CALVARY
CHURCH ADDN**

629 9th Ave, Brookings, SD

PROJECT MANAGER:
HERMELA ABOYE

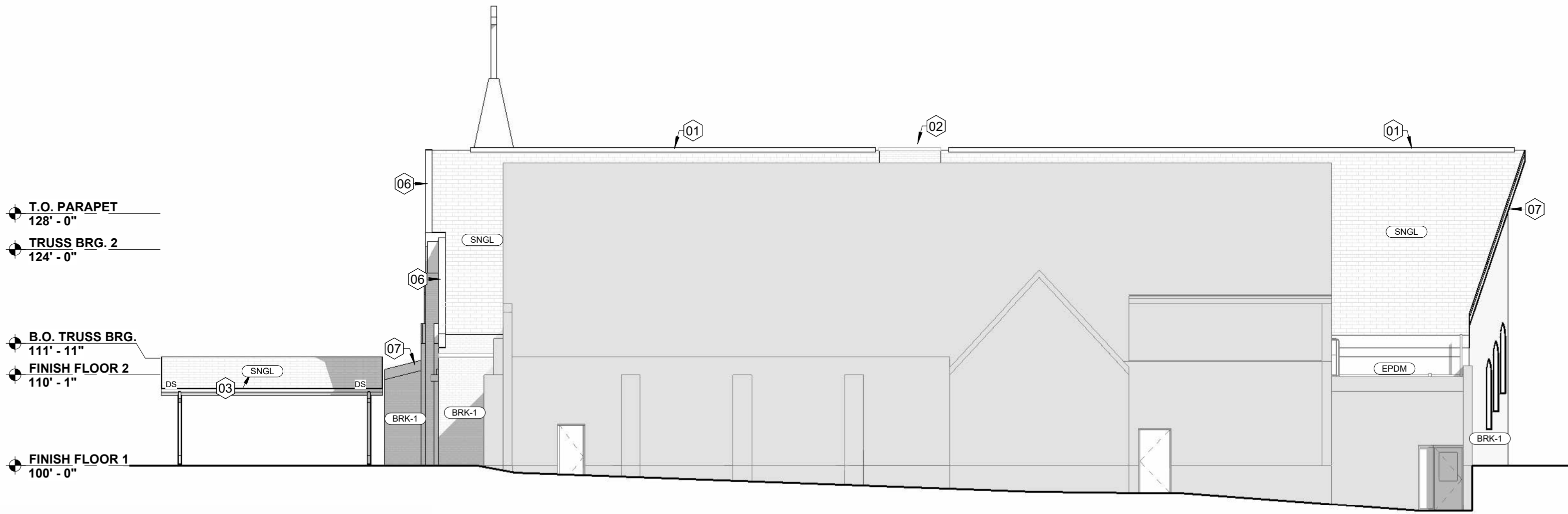
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08.19.25

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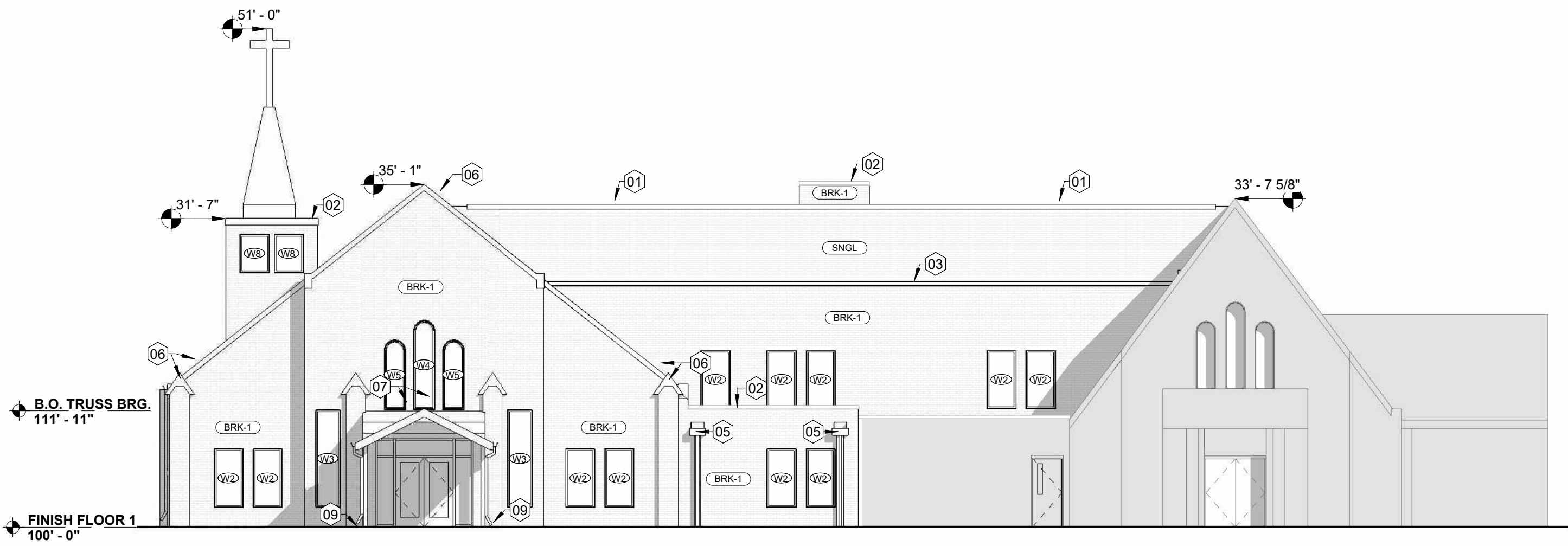
A1.3

FULL SCALE: 24x36
HALF SCALE: 12x18
DRAWING MAY NOT BE PRINTED TO SCALE

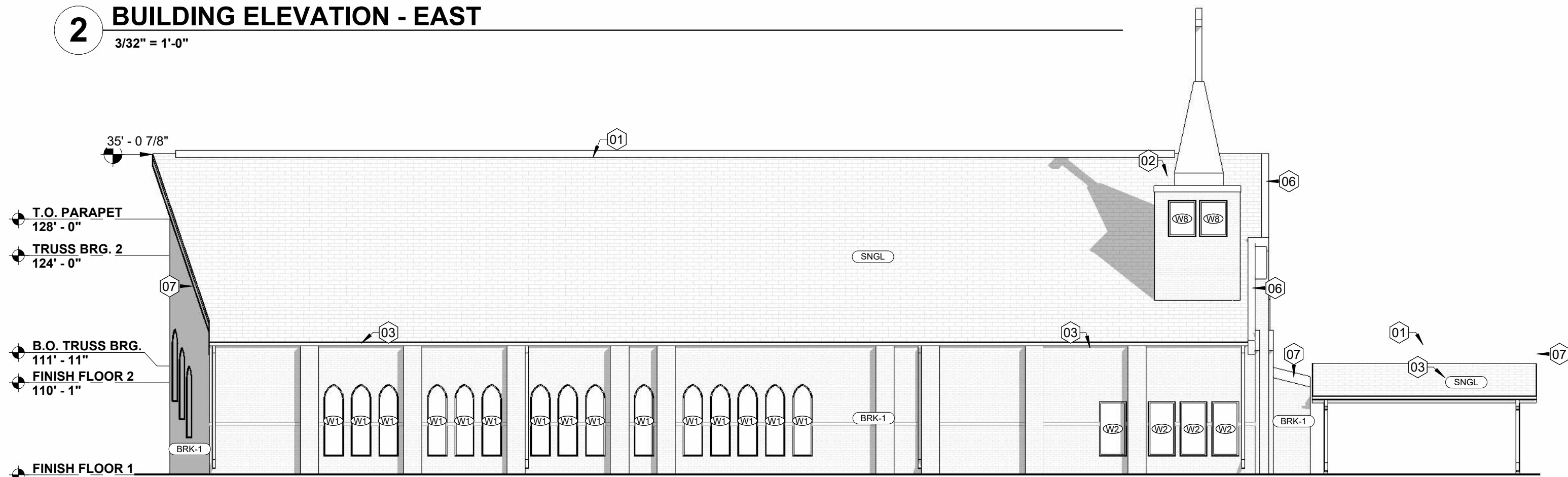
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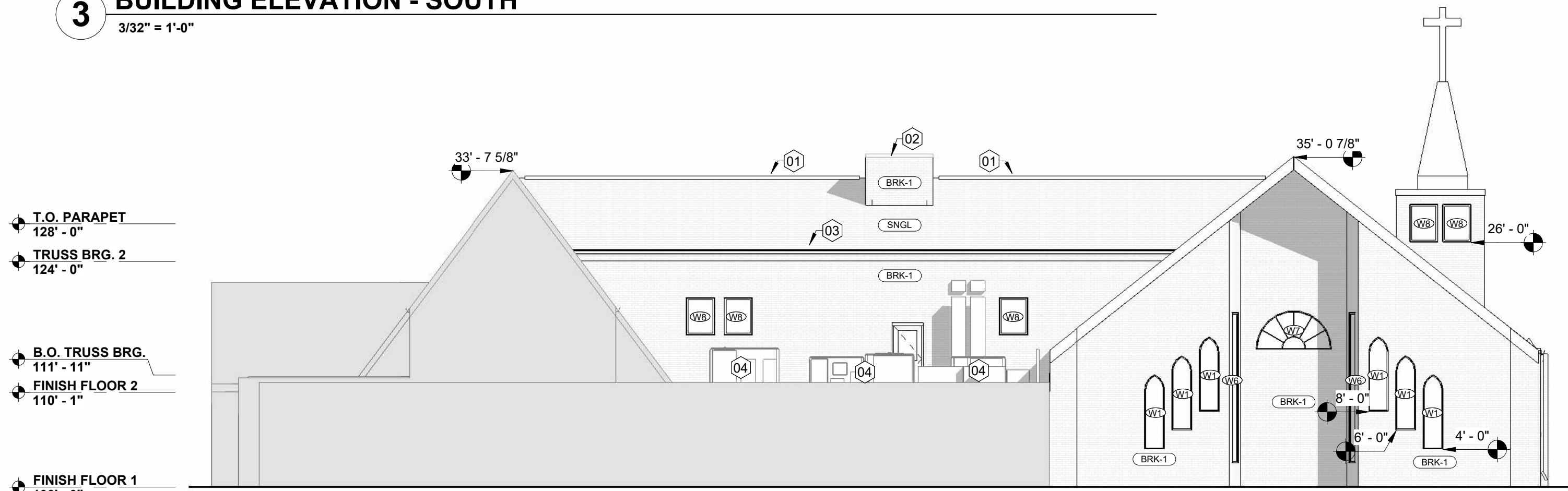
1 BUILDING ELEVATION - NORTH
3/32" = 1'-0"



2 BUILDING ELEVATION - EAST
3/32" = 1'-0"



3 BUILDING ELEVATION - SOUTH
3/32" = 1'-0"



4 BUILDING ELEVATION - WEST
3/32" = 1'-0"

GENERAL NOTES - BUILDING ELEVATIONS

- A. EXTERIOR LIGHTING INDICATED FOR PLACEMENT ONLY. SEE ELEC. FOR LIGHTING SPECIFICATIONS.
- B. SEE SPECIFICATIONS FOR FULL REQUIREMENTS FOR EXTERIOR BUILDING MATERIALS. MATERIALS INDICATED GENERICALLY ON PLANS FOR CLARITY.
- C. INSTALL ALL EXTERIOR BUILDING PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

KEYNOTE - BLD. ELEVEATIONS

- 01 CONT. RIDGE VENT.
- 02 PREFINISHED METAL PARAPET CAP FLASHING, SEE TYPICAL DETAILS.
- 03 PREFIN. 10" DIA. FLAT RECTANGULAR MTL. GUTTER.
- 04 MECHANICAL ROOFTOP EQUIPMENT (SEE MECH)
- 05 MIN. 8" x 16" OVERFLOW ROOF SCUPPER W/ RAIN LEADER, SLEEVE INTO -STS- LINE PER CIVIL DRAWINGS. CONFIRM ACTUAL WALL OPENING HEIGHT IN FIELD W/ HEIGHT OF INSULATION PROVIDED.
- 06 CAST STONE PARAPET CAP. MATCH EXISTING FOR SIZE, PROFILE AND FINISH
- 07 PRE-FINISHED WOOD FASCIA PANELS.
- 09 PRECAST CONC. SPLASHBLOCKS AT ALL DOWNSPOUTS UNLESS TYING DIRECTLY INTO -STS- LINE."

EXTERIOR MATERIALS LEGEND

MATERIAL ABBREVIATION	MATERIAL DESCRIPTION	COMMENTS
EPDM	60-mil. EPDM membrane, fully-adhered	Color TBD
SNGL	Asphalt Shingles.	Color TBD - COLOR TO MATCH EXISTING
BRK-1	Thin veneer brick, running bond	FINISH TO MATCH EXISTING



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PRELIMINARY PLANS

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DATE:

REVISIONS: NO. DESCRIPTION:

BUILDING ELEVATIONS

PROJECT NO. DA25-031

MT CALVARY CHURCH ADDN

629 9th Ave, Brookings, SD

PROJECT MANAGER: HERMELA ABOYE

DATE: 08.19.25

SHEET:

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

A2.1

FULL SCALE: 24x36
HALF SCALE: 12x18
DRAWING MAY NOT BE PRINTED TO SCALE



1 EXTERIOR RENDER
RENDERING NOT TO SCALE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT NAME: MT. CALVARY LUTHERAN CHURCH ADDITION/REMODEL
PROJECT ADDRESS : 629 9th Ave, Brookings, SD, 57006
PROJECT DEV. : DAKOTA LAND DESIGN, LLC

LEGAL: 629 9th Ave, Brookings, SD
Sublot B of Lots 10 & 11 & Sublot A of N Lot 8
Lots 9-11 All in Block 2

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**DAKOTA
LAND DESIGN**

WWW.DAKOTALANDDESIGN.COM

JOB NO.:	5/21/2025
DATE :	D.L.D
ENG / ARCH :	K.J.R
DESIGNER:	N.T.S
DWG SCALE:	

REFERENCE NO :
C-1



2 EXTERIOR RENDER
RENDERING NOT TO SCALE

NUMBER	DATE	REVISED BY	DESCRIPTION

PROJECT NAME: MT. CALVARY LUTHERAN CHURCH ADDITION/REMODEL
PROJECT ADDRESS : 629 9th Ave, Brookings, SD, 57006
PROJECT DEV. : DAKOTA LAND DESIGN, LLC

PROJECT REF. BUILDING RENDERINGS

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NOT FOR CONSTRUCTION



JOB NO.:	5/21/2025
DATE :	D.L.D
ENG / ARCH :	K.J.R
DESIGNER:	N.T.S
DWG SCALE:	

REFERENCE NO :

C-13